



**HIDEOUT, UTAH TOWN COUNCIL REGULAR MEETING  
AND PUBLIC HEARING  
May 12, 2022  
Agenda**

PUBLIC NOTICE IS HEREBY GIVEN that the Town Council of Hideout, Utah will hold its Regular Meeting and Public Hearing electronically for the purposes and at the times as described below on Thursday, May 12, 2022.

This meeting will be an electronic meeting without an anchor location pursuant to Mayor Rubin’s May 11, 2022 No Anchor Site Determination Letter.

All public meetings are available via ZOOM conference call and YouTube Live.  
Interested parties may join by dialing in as follows:

**Zoom Meeting URL:** <https://zoom.us/j/4356594739> To join by telephone dial: US: +1 408 638 0986  
**Meeting ID:** 435 659 4739  
**YouTube Live Channel:** <https://www.youtube.com/channel/UCKdWnJad-WwvcAK75QjRb1w/>

Regular Meeting and Public Hearing  
6:00 PM

- I. Call to Order
  - [1.](#) No Anchor Site Determination Letter
- II. Roll Call
- III. Approval of Council Minutes
  - [1.](#) January 27, 2022 Town Council Meeting Minutes DRAFT
- IV. Follow Up Discussion Items - Status on Previous Action Items
- V. Public Input - Floor open for any attendee to speak on items not listed on the agenda
- VI. Public Hearing Items
  - [1.](#) Discuss and possibly approve a lot amendment to combine lots 74 and 75 in the Soaring Hawk subdivision
- VII. Agenda Items
  - [1.](#) Reminder of Jordanelle Clean Up Day
  - [2.](#) Discussion and possible approval of a reallocation of funds for the budget ending fiscal year 6/30/2022
  - [3.](#) Possible adoption of Resolution 2022-R-XX to adopt the Town of Hideout Tentative Budget for Fiscal Year 2022-2023 and setting a Public Hearing for the Final Budget to be held on June 9, 2022
  - [4.](#) Discussion regarding the overflow of construction debris in the dumpsters
  - [5.](#) Update regarding the Dark Skies Ordinance
- VIII. Closed Executive Session - Discussion of pending or reasonably imminent litigation, personnel matters, and/or sale or acquisition of real property as needed
- IX. Meeting Adjournment

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Mayor or Town Clerk at 435-659-4739 at least 24 hours prior to the meeting.

**HIDEOUT TOWN COUNCIL**  
10860 N. Hideout Trail  
Hideout, UT 84036  
Phone: 435-659-4739  
Posted 5/11/2022



May 11, 2022

DETERMINATION REGARDING CONDUCTING TOWN OF HIDEOUT PUBLIC MEETINGS  
WITHOUT AN ANCHOR LOCATION

The Mayor of the Town of Hideout hereby determines that conducting a meeting with an anchor location presents a substantial risk to the health and safety of those who may be present at the anchor location pursuant to Utah Code section 52-4-207(5) and Hideout Town Ordinance 2020-03. The facts upon which this determination is based include: The seven-day rolling percent and number of positive COVID-19 cases in Utah has been over 12.83% of those tested since April 29, 2022. The seven-day average number of positive cases has been, on average, 379 per day since May 4, 2022.

This meeting will not have a physical anchor location. All participants will connect remotely. All public meetings are available via YouTube Live Stream on the Hideout, Utah YouTube channel at: <https://www.youtube.com/channel/UCKdWnJad-WwvcAK75QjRb1w/>

Interested parties may join by dialing in as follows:

**Meeting URL:** <https://zoom.us/j/4356594739>

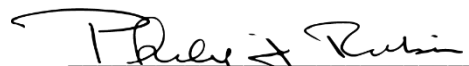
**To join by telephone dial:** US: +1 408-638-0986

**Meeting ID:** 4356594739

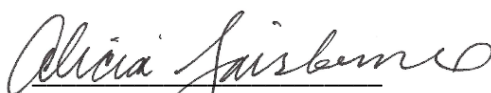
Additionally, comments may be emailed to [hideoututah@hideoututah.gov](mailto:hideoututah@hideoututah.gov). Emailed comments received prior to the scheduled meeting will be considered by Council and entered into public record.

This determination will expire in 30 days on June 10, 2022.

BY:

  
Phil Rubin, Mayor

ATTEST:

  
Alicia Fairbourne, Town Clerk



**Minutes**  
**Town of Hideout**  
**Town Council Public Hearing Special Meeting**  
**January 27, 2022**

The Town Council of Hideout, Wasatch County, Utah met in a Special Meeting and Public Hearing on January 27, 2022 at 6:00 p.m. electronically via Zoom due to the ongoing COVID-19 pandemic.

**Public Hearing**

**I. Call to Order**

**1. January 8, 2022 No Anchor Site Determination Letter**

Mayor Rubin called the meeting to order at 6:00 p.m. and explained there was no anchor site due to the ongoing COVID-19 pandemic.

**II. Roll Call**

**Present:**

Mayor Phil Rubin  
Council Member Chris Baier  
Council Member Carol Haselton (*joined at 6:04 p.m.*)  
Council Member Sheri Jacobs  
Council Member Ralph Severini

**Excused:**

Council Member Bob Nadelberg

**Staff Present:**

Town Attorney Polly McLean  
Town Planner Thomas Eddington  
Director of Engineering and Public Works Timm Dixon  
Town Clerk Alicia Fairbourne

**Others Present:** Chris Ensign, Carol Tomas and others who may have logged in using a partial name or using only a phone number.

**III. Agenda Items**

**1. Review and possibly approve the final plat for the KLAIM Phase 3 subdivision**

Town Planner Thomas Eddington reviewed his report regarding the KLAIM development. He noted the final plat approval for all four or five phases of the subdivision was approved in December 2017. The project was delayed due to negotiations with the Utah Department of Transportation (UDOT) regarding the right-of-way issues on SR-248. The Developer requested an extension for plat recordation and was approved through Planning Commission on November 19, 2020, however, the request was not brought forth to Council. Mr. Eddington further explained the final site plan was approved in 2017 but no final plats were provided for recordation at that time.

Mr. Eddington reviewed the details regarding the overall development, which included:

- 88 attached units
- 58.95 acres with 42.73 acres preserved as open space/untouched land

Mr. Eddington reviewed the details regarding Phase 3 of the development, which included:

- 14 lots which would extend the completed Phase 1 buildings to the south, following the same design as the buildings in Phase 1
- 12 lots which would extend the completed Phase 1 buildings to the north

Mr. Eddington noted the Developer agreed to meet the provisions of the Hideout Town Code which was updated in November 2020, including 11.07.101 Zoning: Mountain (M), 10.08.06.C General Standards-Monotony Clause and 10.08.08 Design Standards. The Developer also agreed to meet the engineering Code sections, including 10.08.14 Roads and Road Requirements, 10.08.020 Drainage and Storm Water Facilities, and 10.08.34 Public Space Requirements.

The trail system was reviewed. Mr. Eddington noted the details would be finalized with the Town's Parks, Open Space, and Trails (POST) Committee in subsequent phases. The Developer agreed all trails were to be open to the public and this note would be included on all plats for the development.

The excavated soil dumping site north of the development was discussed and Hideout Municipal Code 11.02.14 Construction Mitigation Plan was reviewed. Mr. Eddington noted the Developer was required to provide details related to the final scale, including size and dimensions, proposed vegetation, et cetera to the Staff in regard to the mitigation of the excess dirt on the site. The Developer would also be required to submit a Stormwater Pollution Prevention Plan (SWPPP) to the Town Engineer and Town Planner for review and approval. Developer Chris Ensign presented a maintenance plan showing the soil repository site and explained the details and timeline of the plan. Discussion continued. Mr. Ensign ensured Council he would continue to maintain the repository site, which included hydroseeding the soil in the Spring. Mr. Ensign and Mr. Eddington agreed to discuss planting native plants to make the repository site appear more natural to the existing landscape.

Council Member Severini inquired if a plan was in place to ensure the site was maintained after all buildings were complete. Mr. Ensign stated warranty periods were in place for at least three (3) to five (5) years after the last building was complete. Solstice Development would also have an ownership of homes in the subdivision.

Director of Engineering and Public Works Timm Dixon inquired if there was documentation stating the homeowner would be restricted from building on the soil repository, to which there was none. Mayor Rubin and Town Attorney Polly McLean agreed a deed restriction should be recorded on the property stating no building atop the soil repository would be permitted. Mr. Ensign agreed to discuss the recordation of the deed restriction with the existing homeowner.

Council Member Severini inquired of Hideout Municipal Code 11.07.101 Zoning: Mountain (M) and asked why there was a side yard setback deviation for this subdivision. Mr. Eddington explained it was part of the Master Development Agreement (MDA) which included a Planned Performance Development Overlay which altered the setbacks and density.

Council Member Baier inquired when the completion of the amenities could be expected. Mr. Eddington stated the POST Committee would discuss the timing and report back to Council. Mr. Ensign presented and discussed the trail system and noted there would be construction vehicles on the roadways until the Phases of the subdivision were complete, which would pose a safety risk to trail users. Ms. McLean reiterated all trails would be made open to the public, which would be noted on the plat prior to recordation.

Council Member Severini mentioned the Town was expected to pass a Dark Skies Ordinance and asked if the lighting was in compliance. Mr. Ensign stated all the lights in the subdivision were down-lit, which would meet the Dark Sky Ordinance criteria. Mr. Eddington noted the Resolution would be modified to add the dark sky compliance regulations, as well as the future Hideout Dark Skies Ordinance regulations as a condition of approval.

Ms. McLean noted Jordanelle Special Service District (JSSD) would be required to sign the plat. Discussion ensued regarding the conditions of approval; however, no other conditions were determined to be needed.

There being no further comments or questions from Council, Mayor Rubin opened the floor to public comment at 6:56 p.m. There were no comments from the public. Mayor Rubin closed public comment at 6:57 p.m. and asked for a motion.

***Motion: Council Member Haselton moved to adopt Resolution 2022-O-01 approving the final plat for the KLAIM Phase 3 subdivision incorporating the changes as discussed. Council Member Jacobs made the second. Voting Yes: Council Member Baier, Council Member Haselton, Council Member Jacobs and Council Member Severini. Absent: Council Member Nadelberg. None opposed. Motion carried.***

#### **IV. Meeting Adjournment**

There being no further business, Mayor Rubin closed the meeting at 6:59 p.m.

*(Clerk's note: The meeting adjourned with no motion made.)*

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Alicia Fairbourne, Town Clerk

## Resolution 2022-R-05

### A RESOLUTION APPROVING A SUBDIVISION AMENDMENT FOR LOTS 74 & 75 IN THE SOARING HAWK SUBDIVISION LOCATED IN HIDEOUT, UTAH

WHEREAS, owners of the property known as Lots 74 and 75 in Soaring Hawk Subdivision, located in Hideout, Utah, have petitioned the Town Council for approval of a subdivision amendment; and

WHEREAS, legal notice of the public hearing was published on the Town of Hideout's website on April 11, 2022 according to the requirements of the Hideout Municipal Code; and

WHEREAS, the Planning Commission held a public hearing on April 21, 2022 to receive input on the proposed subdivision amendment for a lot combination; and

WHEREAS, the Planning Commission, on April 21<sup>st</sup> conducted a public hearing and forwarded a positive recommendation to the Town Council; and

WHEREAS, on May 12, 2022 the Town Council held a public hearing on the subdivision amendment; and

WHEREAS, it is in the best interest of Hideout, Utah to approve the lot combination for Lots 74 and 74 in the Soaring Hawk Subdivision in that this subdivision amendment is intended to comply with the Hideout Municipal Code, the 2010 Master Development Agreement (MDA), and the Technical Reports prepared by the Town Staff as well as all other recorded agreements.

NOW, THEREFORE BE IT RESOLVED by the Town Council of Hideout, Utah as follows:

**SECTION 1. APPROVAL.** The above recitals are hereby incorporated as findings of fact. The subdivision plats illustrating the lot combination as shown in Exhibit A is approved subject to the following findings of fact, conclusions of law, and conditions of approval:

#### Findings of Fact

1. Soaring Hawk, Phase 2, was recorded on July 15, 2015.
2. Soaring Hawk, Phase 2, was comprised of 60 lots (lots 48 – 108) at time of recordation and includes 23.49 acres.
3. The property is located within the Town of Hideout along SR248, the east side about midway through Town.
4. Zoning for the property is RSPA – Resort Specially Planned Area.
5. The combined two lots (Lot 74 and 75) will create a single lot (0.46 acre total).
6. The Town of Hideout entered into a Master Development Agreement (MDA) with the developer on March 11, 2010.
7. All existing and required easements will be shown on the plat prior to recordation, including utilities, storm drainage, access, trails, snow storage, etc.
8. No changes are proposed to the existing road alignment or uses associated with this plat.

#### Conclusions of Law

1. The subdivision amendment, as conditioned, complies with Hideout Municipal Code.
2. The subdivision amendment as conditioned, is consistent with the applicable State law

regarding subdivision plats.

3. Neither the public nor any person will be materially injured as a result of approval of the proposed subdivision amendment as conditioned.
4. Approval of the subdivision amendment, subject to the conditions stated herein, will not adversely affect the health, safety and welfare of the citizens of Hideout.
5. If the Applicant requests an extension for the subdivision amendment, the Hideout Municipal Code requires that these submittals "satisfy[ies] any new Town requirements pertaining to the public health, safety and welfare."

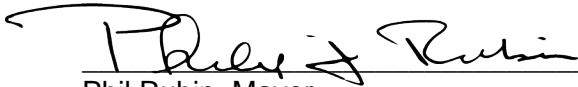
#### Conditions of Approval

1. The Town Attorney, Town Planner and Town Engineer will review and approve the final form and content of the subdivision amendment for compliance with State law, the Hideout Municipal Code, the Master Development Agreement and these conditions of approval, prior to recordation of the plat.
2. The applicant will record the subdivision amendment at Wasatch County within six (6) months from the date of Town Council approval. If recordation has not occurred within six (6) months' time, this approval for the plat will be void unless a written request for an extension is submitted to the Town prior to the expiration date and the Town Council grants an extension.
3. Non-exclusive public utility easements shall be indicated on the plats prior to recordation as approved by the Town Engineer and JSSD and consistent with the utility plan, including drainage easements.
4. The primary dwelling unit will generally be constructed on what is currently delineated as Lot 75. Lot 74, as currently delineated, will generally be used as open space. There is an allowance for an encroachment of up to 25% for the house footprint on Lot 74 if needed per HOA Design Review Committee (DRC) review.
5. No driveways or parking pads are permitted on Lot 74.
6. No accessory structures are permitted on Lot 74.
7. Per the HOA, the maximum house size can be increased to 125% of what is allowed on a single lot.
8. The Applicant must adhere to all requirements of the Master HOA, including Design Review Committee (DRC) requirements.
9. The Town must verify that no utility lines exist in the Public Utility Easement (PUE) that currently separates Lot 74 and Lot 75 (6'-0" on either side of lot line for a total width of 12'-0" wide). If utilities currently exist, the PUE must remain in place. If no utilities currently exist, the PUE may be abandoned in coordination with the Town Engineer and HOA.
10. The Applicant agrees to complete subdivision construction permit, pay all required fees and post all required bonds before starting construction.
11. The final plat (mylar) is subject to review may require additional notes and corrections.
12. The exact language of the plat notes shall be finalized by the Town Attorney, Town Planner and Town Engineer as necessary to implement these conditions of approval and applicable provisions of the Hideout Municipal Code or State Code prior to Mylar signatures by the Town.

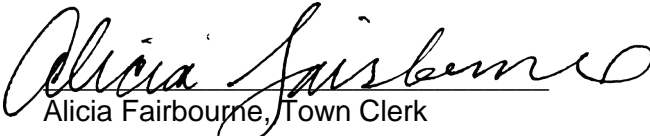
**SECTION 2. EFFECTIVE DATE.** This Resolution shall take effect upon publication.

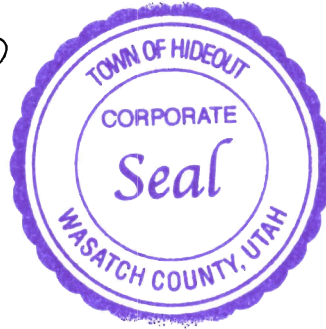
PASSED AND ADOPTED this 12<sup>th</sup> day of May, 2022

TOWN OF HIDEOUT

  
Phil Rubin, Mayor

ATTEST:

  
Alicia Fairbourne, Town Clerk





A NEW DESIGN FOR THE

# LIZ & DYLAN RESIDENCE

LOT 74 & 75  
SOARING HAWK

11562 N WHITE TAIL CT.  
HIDEOUT, UT 84032

PROJECT REVISIONS			Index of Drawings			
#	DATE	DESCRIPTION	Sheet Number	Sheet Name		
			Architectural			
			OT-1	TITLE		
			TOPO	SURVEY		
			A1.1	SITE PLAN		
			A2.0	1/4" LOWER LEVEL PLAN		
			A2.1	1/4" MAIN LEVEL PLAN		
			A2.2	GROSS AREA PLANS		
			A2.3	NET AREA PLANS		
			A3.0	3D AXONOMETRIC VIEWS		
			A3.1	1/8" ELEVATIONS		
			A4.1	ROOF PLAN		
<u>Inside of Wall SQFT</u>						
LOCATION		SQUARE FOOTAGE				
LOWER LEVEL		1,824 SF				
MAIN LEVEL		2,261 SF				
TOTAL FINISHED		4,084 SF				
GARAGE		760 SF				
MECH.		51 SF				
STOR. / MECH.		132 SF				
TOTAL UNFINISHED		943 SF				
TOTAL INSIDE OF WALL		5,027 SF				
<u>Outside of Wall SQFT</u>						
LOCATION		SQUARE FOOTAGE				
LOWER LEVEL		1,953 SF				
MAIN LEVEL		2,427 SF				
TOTAL FINISHED		4,380 SF				
GARAGE		898 SF				
STOR./ MECH.		158 SF				
TOTAL UNFINISHED		1,056 SF				
TOTAL OUTSIDE OF WALL		5,436 SF				
<u>Deck/Patio SQFT</u>						
LOCATION		SQUARE FOOTAGE				
COVERED ENTRY		150 SF				
GUEST DECK		61 SF				
GYM DECK		117 SF				
LOWER PATIO		402 SF				
MAIN DECK		800 SF				
MASTER DECK		109 SF				
TOTAL DECK/PATIO		1,639 SF				
<u>DEFERRED SUBMITTAL</u>						
ALL DEFERRED SUBMITTALS AND CHANGES TO PLANS MUST BE: *FIRST APPROVED BY THE ARCHITECT OF RECORD PRIOR TO SUBMITTING TO THE BUILDING OFFICIAL. *STRUCTURAL ENGINEER TO APPROVE ALL STRUCTURAL PLANS.						
1. FIRE SPRINKLER PLANS (Modified NFPA 13D)						
2. GAS PIPING SCHEMATIC TO BE PROVIDED BY CONTRACTOR						
3. TRUSS PLANS (IF APPLICABLE)						
4. STUCCO SYSTEM (IF APPLICABLE)						
5. LANDSCAPE SPRINKLER PLAN						
6. CONSTRUCTION MITIGATION PLAN						
7. GEOTECHNICAL SURVEY (IF APPLICABLE AS DETERMINED BY BUILDING OFFICIAL)						
8. SPECIAL INSPECTION CERTIFICATE FROM OUTSIDE INSPECTIONS FOR ALL WELDING ON THIS PROJECT						
9. CONTRACTOR TO PROVIDE EXTERIOR LIGHTING SPECS PRIOR TO FOUR-WAY INSPECTION						
10. (3) BACKFLOW PREVENTORS TO BE INSTALLED						
11. POOL DESIGN BY OTHERS (IF APPLICABLE)						
<u>Code Analysis</u>						
- UTAH STATE ADOPTED CODES AS OF JULY 1, 2019						
- 2015 IRC		BUILDING OCCUPANCY				
- 2018 IBC		R-3				
- 2018 IPC		TYPE 5B CONTRUCTION				
- 2018 IMC		TWO STORIES				
- 2018 IFGC						
- 2017 NEC						

Item # 1.

1 FEBRUARY 2022

REVISIONS

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF UPWALL DESIGN. NO PARTS OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF UPWALL DESIGN. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE CONSIDERED A VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA. UPWALL DESIGN SHALL BE RESPONSIBLE FOR THE ACCURACY OF THESE DRAWINGS AND SPECIFICATIONS. UPWALL DESIGN SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AND SPECIFICATIONS. UPWALL DESIGN SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGES. UPWALL DESIGN SHALL NOT BE RESPONSIBLE FOR ANY INJURY OR DEATH. UPWALL DESIGN SHALL NOT BE RESPONSIBLE FOR ANY OTHER DAMAGES. UPWALL DESIGN SHALL NOT BE RESPONSIBLE FOR ANY OTHER DAMAGES. UPWALL DESIGN SHALL NOT BE RESPONSIBLE FOR ANY OTHER DAMAGES.

A NEW DESIGN FOR THE :

LIZ & DYLAN RESIDENCE

LOT 74 & 75  
SOARING HAWK

11562 N WHITE TAIL CT.  
HIDEOUT, UT 84032

UPWALL  
DESIGN

1930 S. 1100 E. S.L.C. UT 84106  
(801) 485-0708

OT-1

VICINITY MAPS			
ARCHITECT	OWNER	STRUCTURAL ENGINEER	GENERAL CONTRACTOR
UPWALL DESIGN JOSH ARRINGTON 1930 SOUTH 1100 EAST SALT LAKE CITY, UTAH 84106 (801) 485-0708 EMAIL:josh@upwalldesign.com	LIZ SUMNER & DYLAN BRANDT 2617 EAGLE COVE DR. PARK CITY, UT 84060 (541) 213-8723 liz.sumner@gmail.com brandtdylan2@gmail.com	- - - -	- - - -

LOCATED IN THE NORTHEAST QUARTER OF SECTION 17,  
TOWNSHIP 2 SOUTH, RANGE 5 EAST,  
SALT LAKE BASE AND MERIDIAN  
RECORD OF SURVEY  
WASATCH, UTAH

### SURVEYOR'S CERTIFICATE

I, Charles Galati, certify that I am a Professional Land Surveyor and that I hold License No. 7248891, as prescribed by the laws of the State of Utah. I further certify that under my direct supervision a survey has been performed on the hereon described property and that to the best of my knowledge this plat is a correct representation of said survey.

## LEGAL DESCRIPTION

All of Lot 75, SOARING HAWK PHASE 2 SUBDIVISION; according to the Official Plat thereof, on file and of record in the Office of the Wasatch County Recorder.

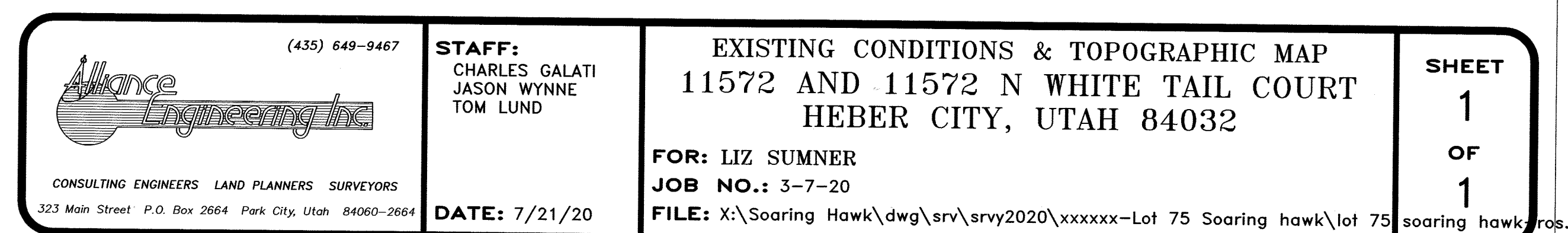
Lot 74, Soaring Hawk Phase 2 Subdivision, according to the official plat thereof on file and of record in the office of the Wasatch County Recorder.

## NARRATIVE/NOTES

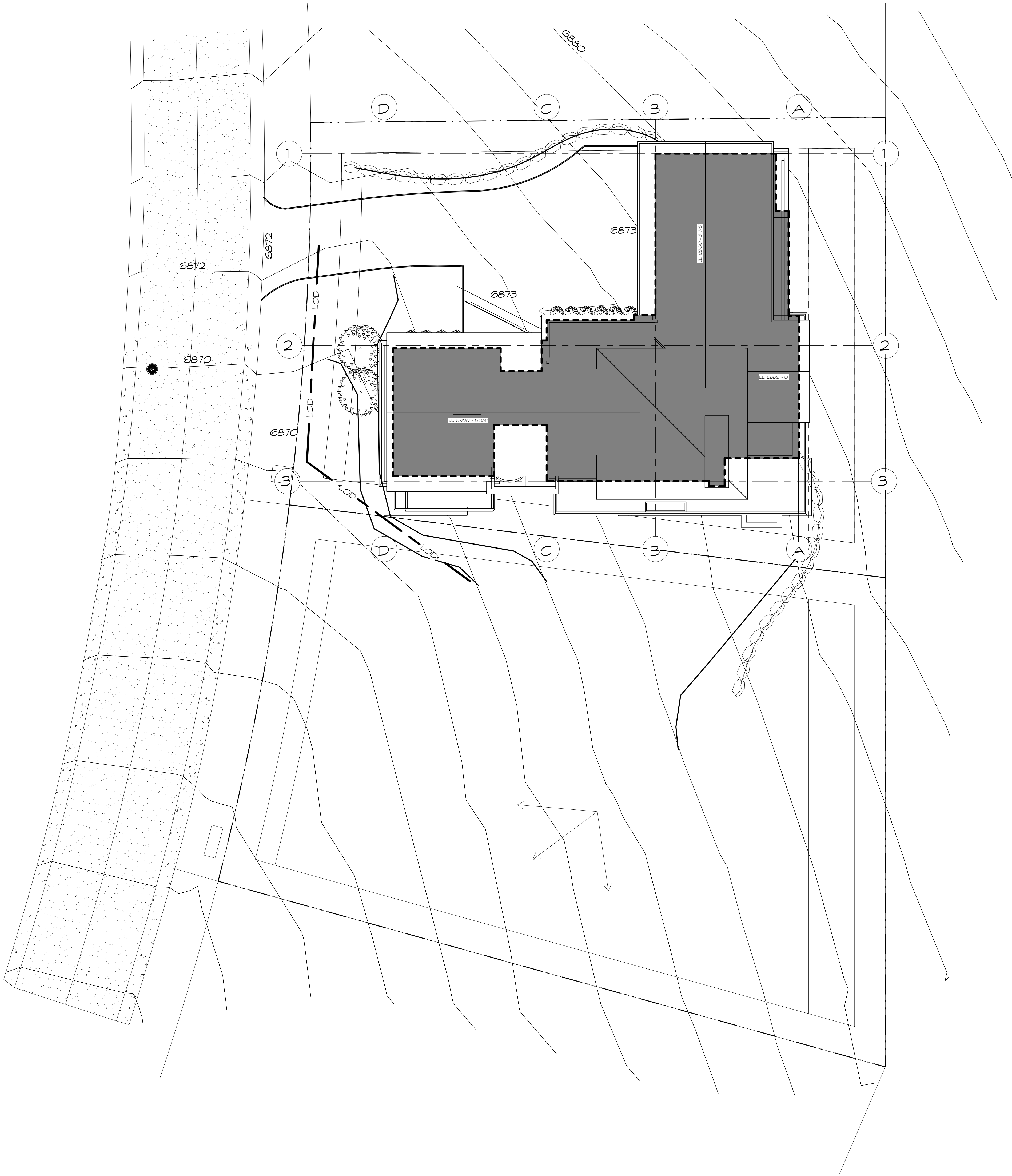
1. Basis of Bearing for this survey is between the found original survey monuments as shown on this plat.
2. Field work for this survey was performed May 28, 2020, and July 7, 2020 and is in compliance with generally accepted industry standards for accuracy.
3. The purpose of this survey was to perform a Boundary, Existing Conditions and Topography survey for the possibility of future improvements to the properties.
4. A Title Report was not provided to the surveyor and only easements and setbacks per subdivision plat were located as part of this survey. This owner of the property should be aware of any items affecting the property that may appear in a title insurance report. The surveyor found no obvious evidence of easements, encroachments or encumbrances on the property surveyed except as shown hereon.
5. County tax maps, recorded deeds, Soaring Hawk Subdivision Phase 2 (Entry No. 414035) (all aforementioned documents on file and of record in the Wasatch County Recorder's Office), a previous survey of Lot 74 completed and recorded by this surveyor in June of 2020, and physical evidence found in the field were all considered when determining the boundary as shown on this plat.
6. Site Benchmark: sanitary sewer manhole, Elevation=6870.0' as shown.
7. The architect is responsible for verifying building setbacks, zoning requirements and building heights.
8. Property corners were set and found as shown.

### LEGEND

- Set 5/8" rebar w/cap  
"ALLIANCE ENGINEERING"  
(Unless noted otherwise)
- Found Monument  
(As-Noted)







SITE GENERAL NOTES	
1	CONTRACTOR TO FIELD VERIFY LOCATION OF UTILITY LINES AS REQUIRED.
2	CONTRACTOR TO FIELD VERIFY MIN. 3'-0" SEPARATION BETWEEN GAS AND ELECTRICAL LINES.
3	REESTABLISH NATURAL GRADE AND NATURAL VEGETATION. PROVIDE TEMP. IRRIGATION TO ASSURE ESTABLISHED VEGETATION.
4	SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE, BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FT. (IRC R401.3).
5	RETAINING WALLS (>4' OR SUPPORTING A SURCHARGE), SWIMMING POOLS, SOLAR AND/OR GEO-THERMAL HEATING SYSTEMS, AND PHOTO-VOLTAIC- AND/OR WIND-GENERATED ELECTRICAL SYSTEMS REQUIRE SEPARATE PERMITS. SEPARATE PLANS, SPECIFICATIONS AND APPLICATIONS ARE TO BE SUBMITTED AND REVIEWED PRIOR TO ISSUANCE OF THESE PERMITS.

KEYNOTES	
NUMBER	DESCRIPTION

Item # 1.

1 FEBRUARY 2022

REVISIONS

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A NEW DESIGN FOR THE :

LIZ & DYLAN RESIDENCE

1562 N WHITE TAIL CT.  
HIDEOUT, UT 84032

LOT 74 & 75  
SOARING HAWK

U P W A L L  
D E S I G N

1930 S. 1100 E. S.L.C. UT 84106 (801)485-0708

A1.1

SITE PLAN

SITE PLAN

SCALE: 1" = 10'-0"

0' 2.5' 5' 10' 20'

1 FEBRUARY 2022

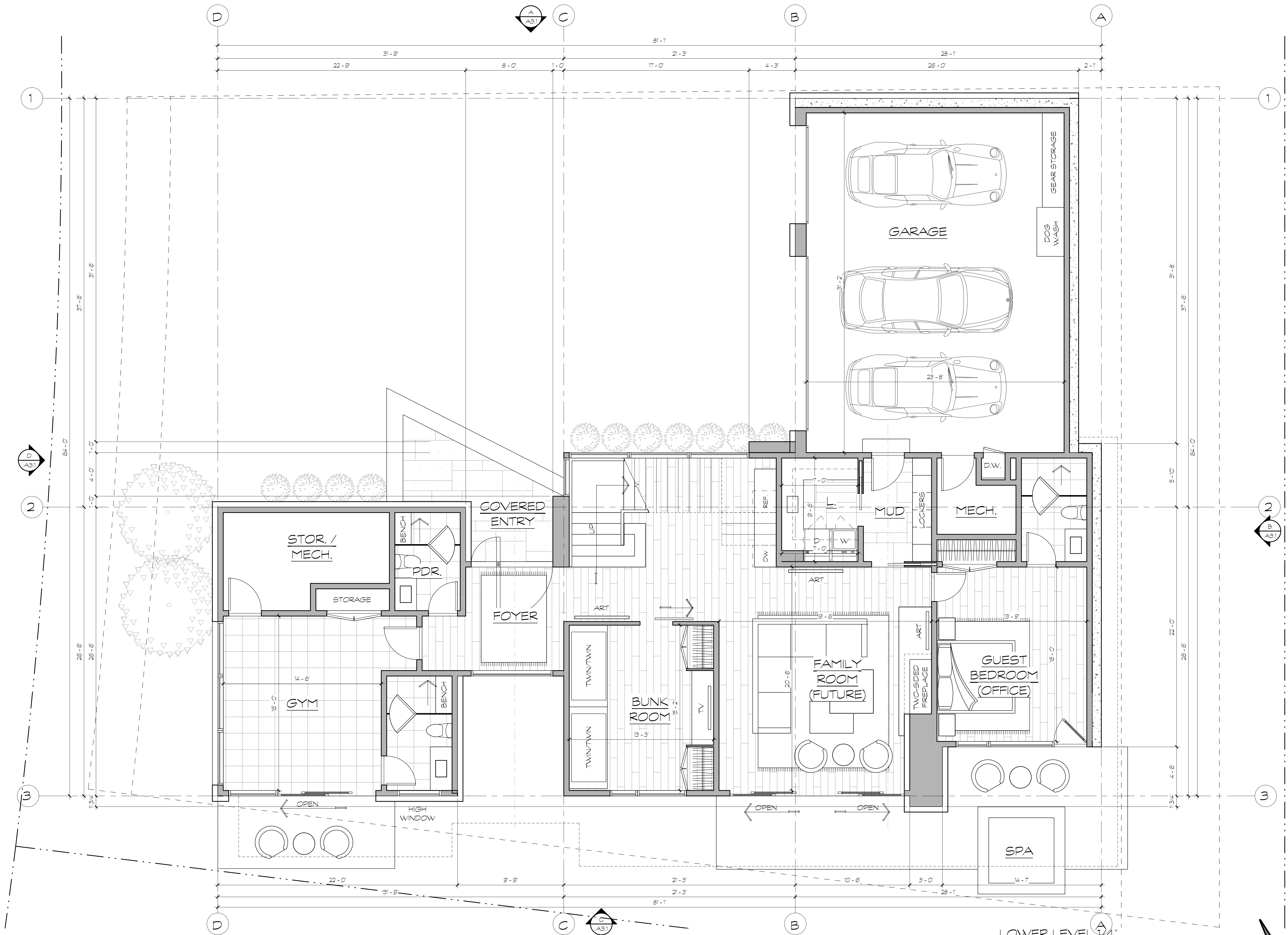
REVISIONS

THE ARCHITECT HAS PREPARED THESE PLANS AND SPECIFICATIONS AND THE OWNER HAS REVIEWED AND APPROVED THEM. THE ARCHITECT HAS NO LIABILITY FOR ANY CHANGES OR OMISSIONS THAT MAY BE MADE BY THE OWNER OR ANY OTHER PARTY. THE ARCHITECT HAS NO LIABILITY FOR ANY CHANGES OR OMISSIONS THAT MAY BE MADE BY THE OWNER OR ANY OTHER PARTY. THE ARCHITECT HAS NO LIABILITY FOR ANY CHANGES OR OMISSIONS THAT MAY BE MADE BY THE OWNER OR ANY OTHER PARTY.

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LOT 74 & 75  
SOARING HAWK

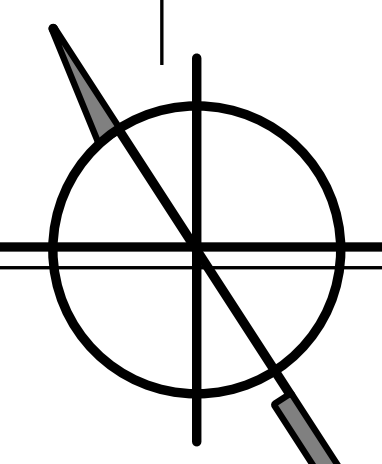
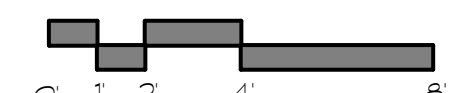
**UP WALL**  
**DESIGN**  
1930 S. 1100 E. S.L.C. UT 84106  
(801) 485-0708

**A2.0**  
1/4" LOWER LEVEL  
PLAN

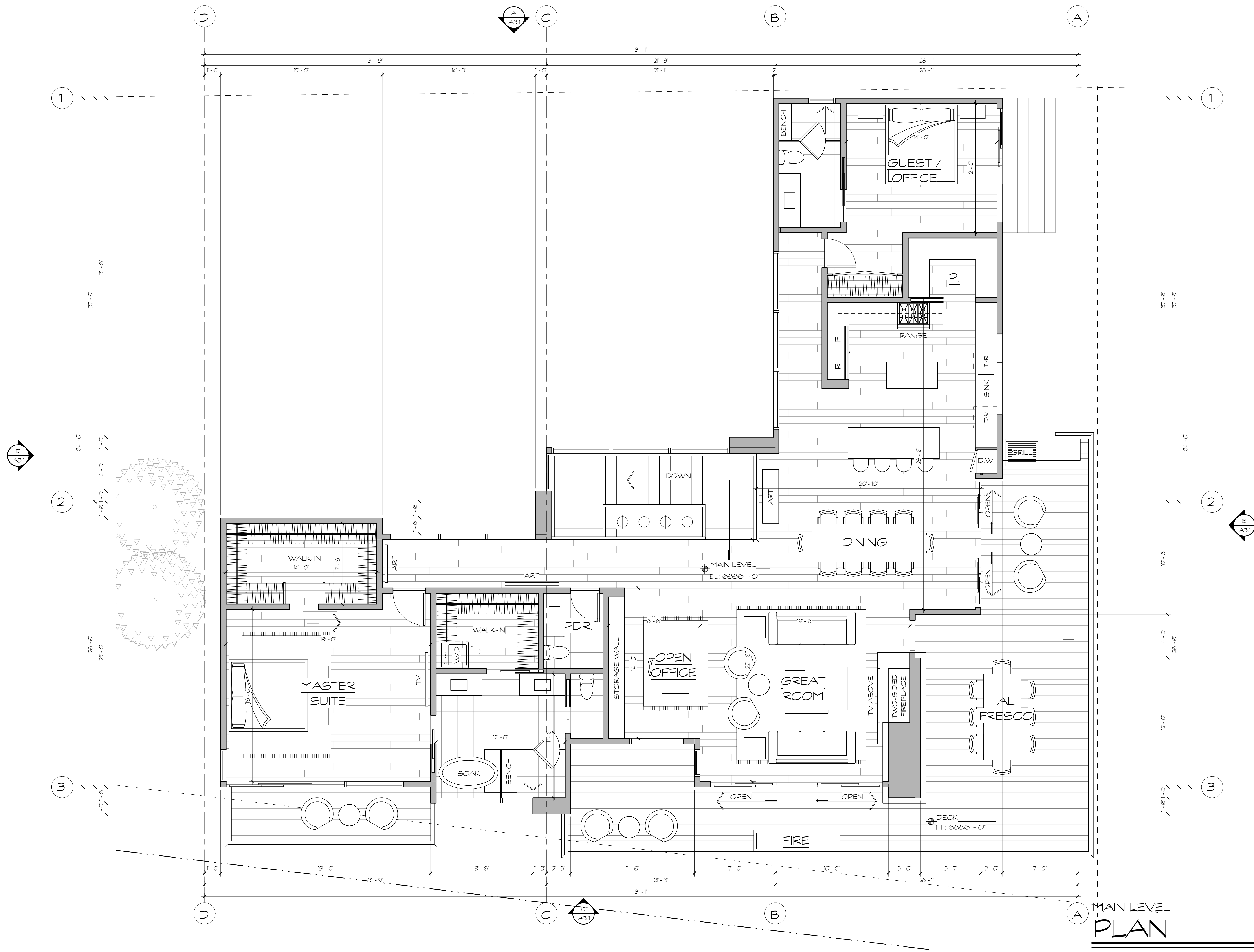


LOWER LEVEL 1/4"  
PLAN

SCALE: 1/4" = 1'-0"  
LOWER LEVEL 1,824 SF  
GARAGE 760 SF  
MECH. 51 SF  
STOR. / MECH. 132 SF







MAIN LEVEL  
PLAN

SCALE: 1/4" = 1'-0"

MAIN LEVEL 2,261 SF

Item # 1.

1 FEBRUARY 2022

REVISIONS

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE ARCHITECT. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT DOES NOT WARRANT OR REPRESENT THAT THE PROJECT WILL BE COMPLETED ON TIME, WITHIN BUDGET, OR WITHOUT ANY CHANGES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT DOES NOT WARRANT OR REPRESENT THAT THE PROJECT WILL BE COMPLETED ON TIME, WITHIN BUDGET, OR WITHOUT ANY CHANGES.

A NEW DESIGN FOR THE :

**LIZ & DYLAN RESIDENCE**

15622 N WHITE TAIL CT.  
HIDEOUT, UT 84032

LOT 74 & 75  
SOARING HAWK

**UP WALLS**

**DESIGN**

1930 S. 1100 E. S.L.C. UT 84106 (801)485-0708

A2.1

1/4" MAIN LEVEL PLAN





1 FEBRUARY 2022  
REVISIONS

Inside of Wall SQFT	
LOCATION	SQUARE FOOTAGE
LOWER LEVEL	1,824 SF
MAIN LEVEL	2,261 SF
TOTAL FINISHED	4,084 SF
GARAGE	760 SF
MECH.	51 SF
STOR. / MECH.	132 SF
TOTAL UNFINISHED	943 SF
TOTAL INSIDE OF WALL	5,027 SF

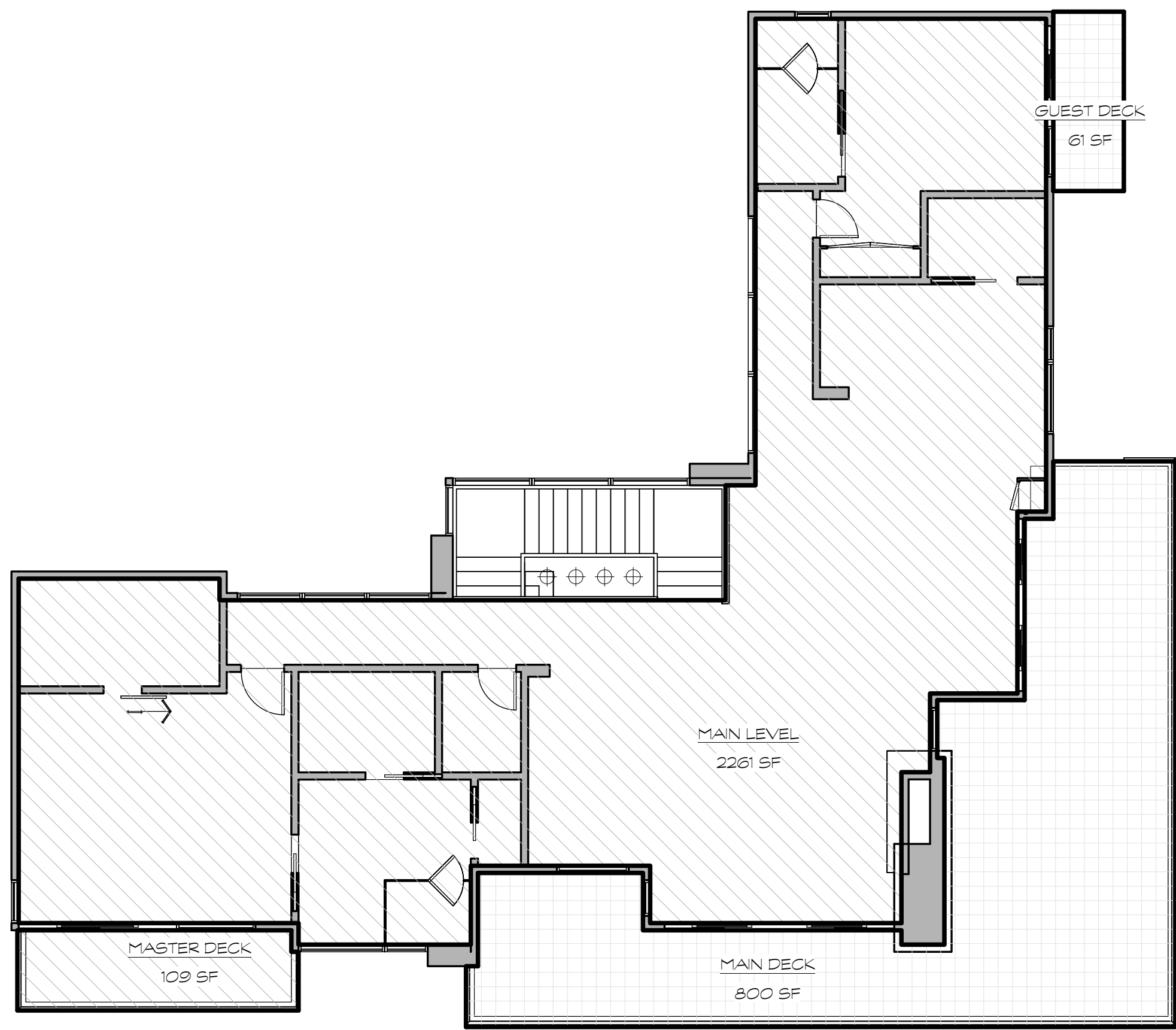
Deck/Patio SQFT	
LOCATION	SQUARE FOOTAGE
COVERED ENTRY	150 SF
GUEST DECK	61 SF
GYM DECK	117 SF
LOWER PATIO	402 SF
MAIN DECK	800 SF
MASTER DECK	109 SF
TOTAL DECK/PATIO	1,639 SF

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A NEW DESIGN FOR THE :  
LIZ & DYLAN RESIDENCE  
1562 N WHITE TAIL CT.  
HIDEOUT, UT 84032  
LOT 74 & 75  
SCARING HAWK

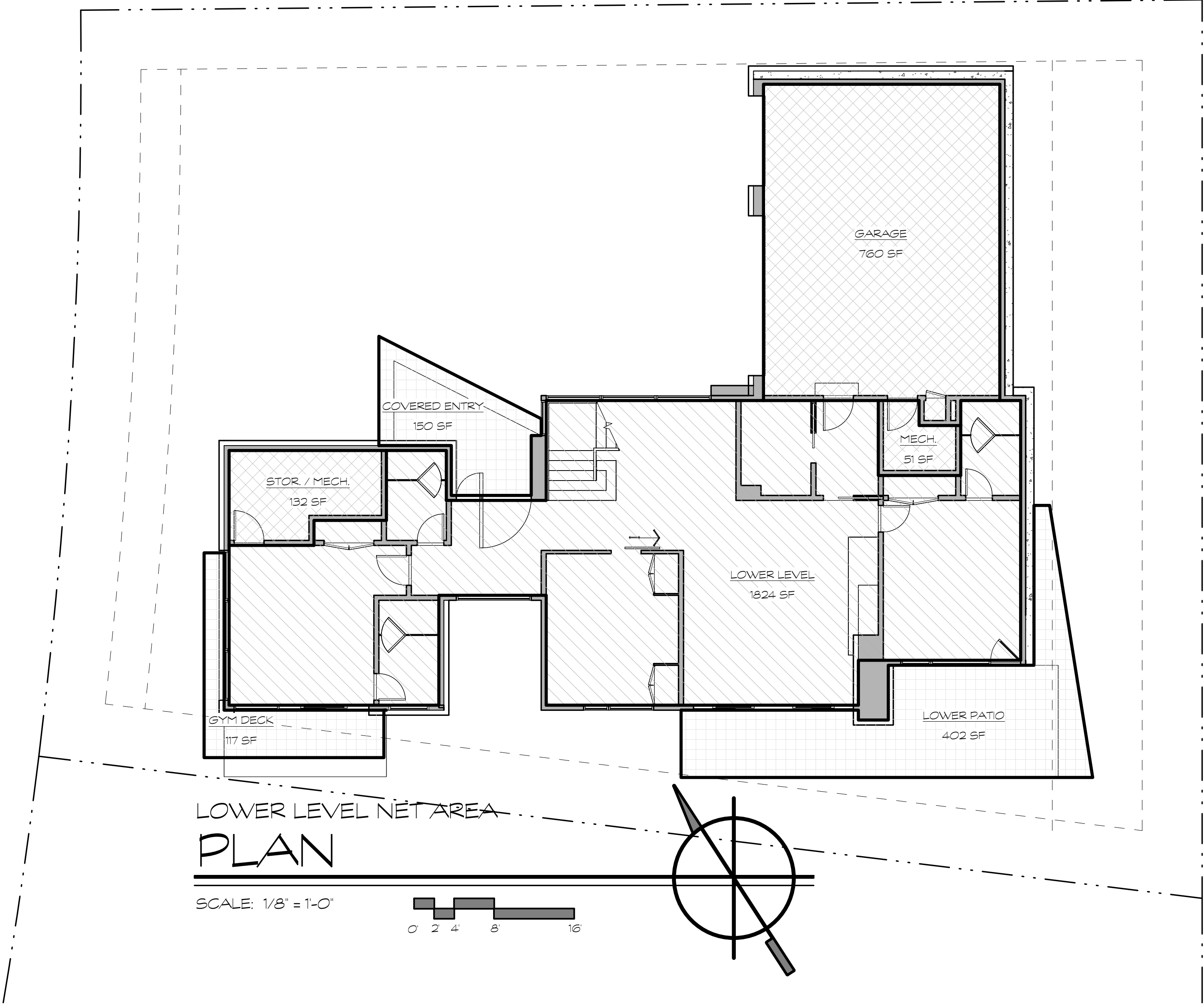
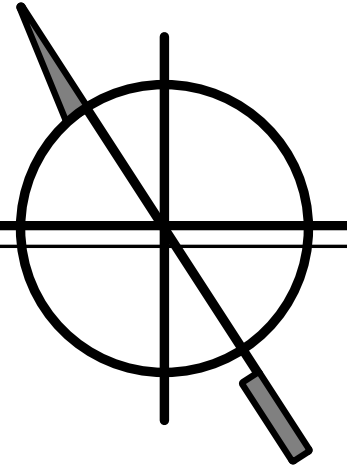
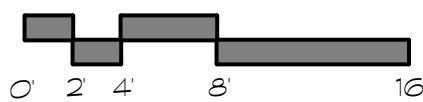
UP WALL  
DESIGN  
1930 S. 1100 E. S.L.C. UT 84106  
(801)485-0708

A2.3  
NET AREA PLANS



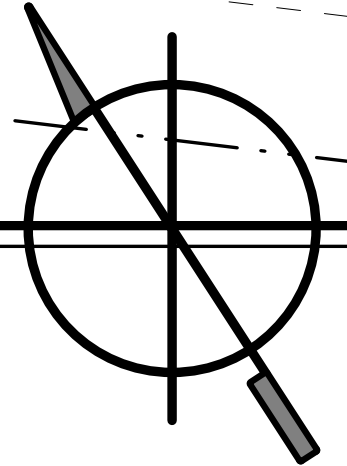
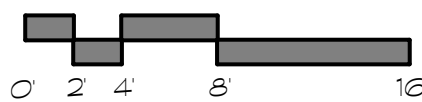
MAIN LEVEL NET AREA  
PLAN

SCALE: 1/8" = 1'-0"



LOWER LEVEL NET AREA  
PLAN

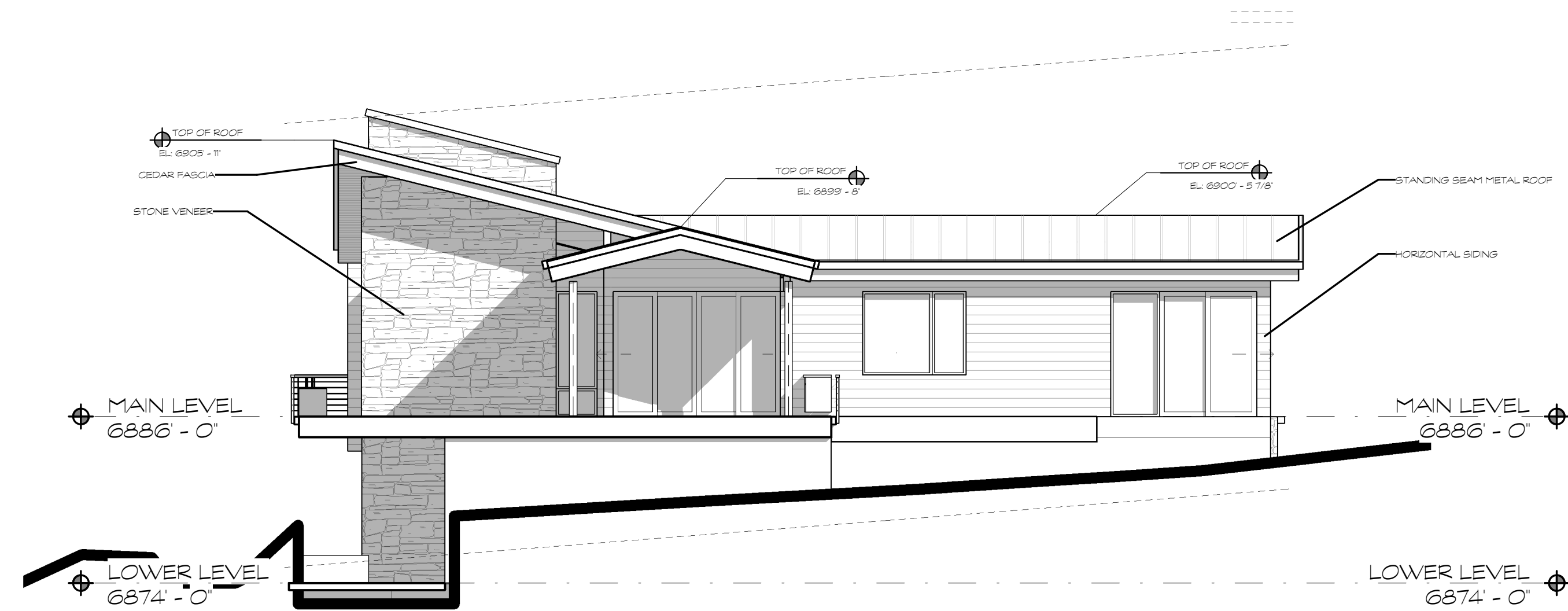
SCALE: 1/8" = 1'-0"





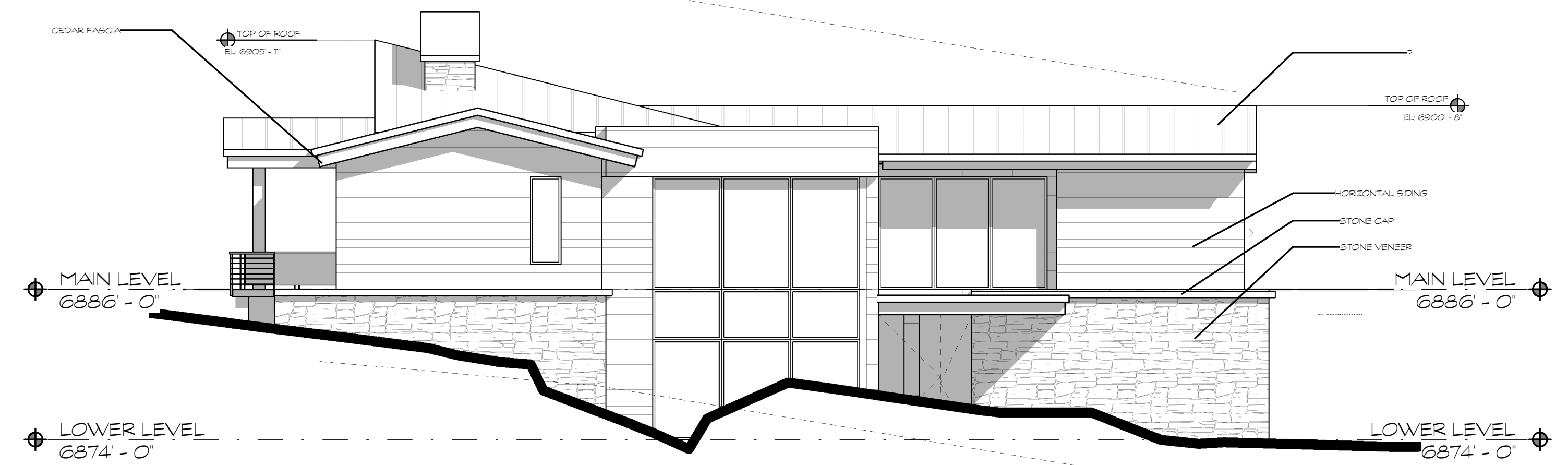
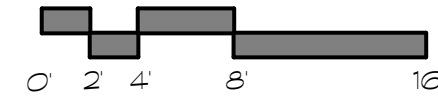






# SOUTHEAST ELEVATION

SCALE: 1/8" = 1'-0"

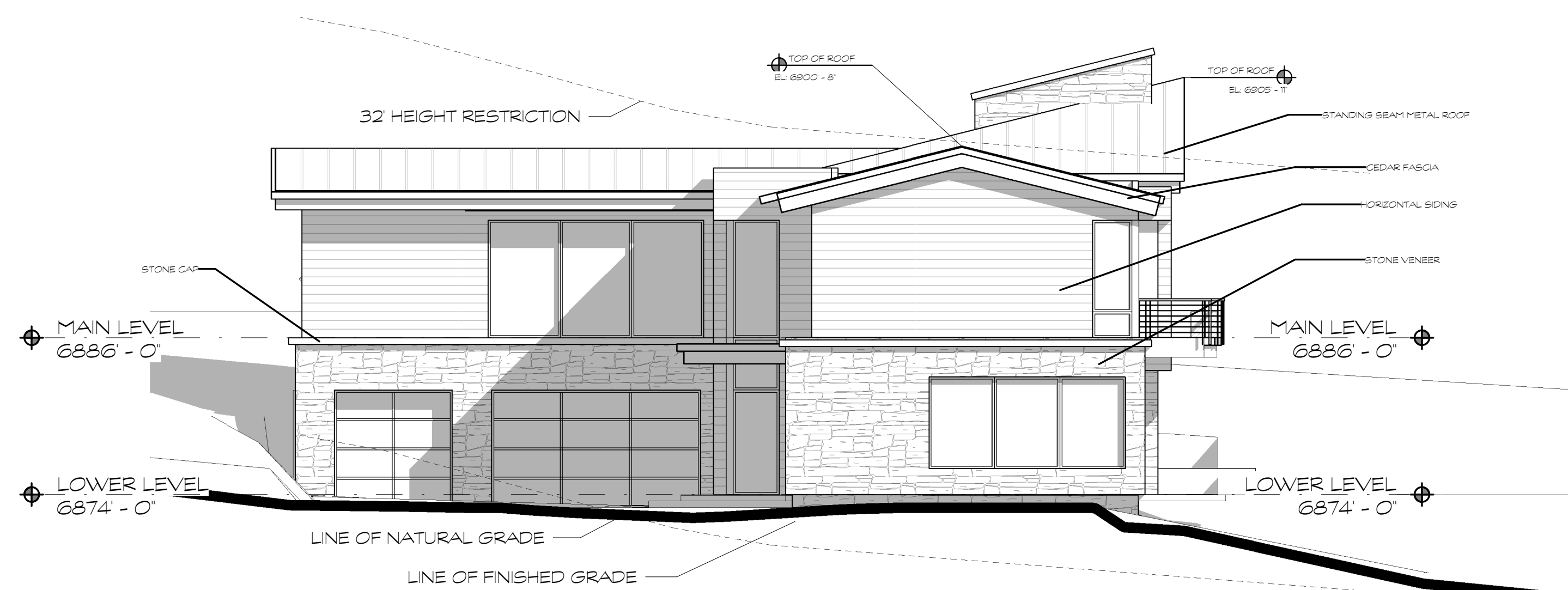
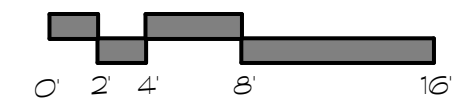


NORTHEAST  
ELEVATION

A

SCALE: 1/8" = 1'-0"

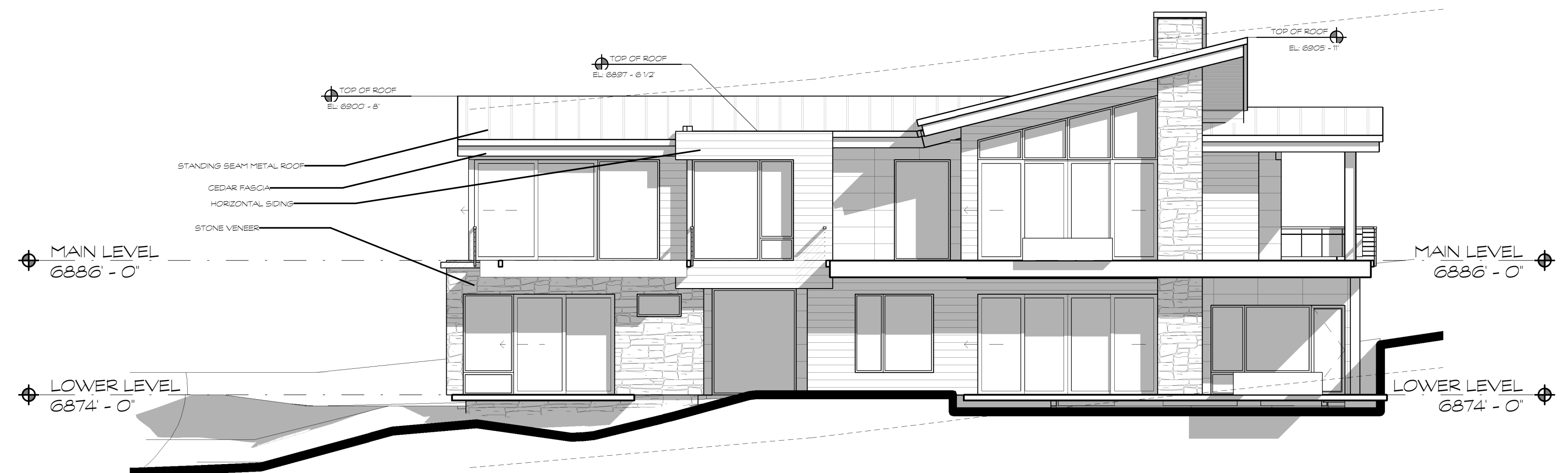
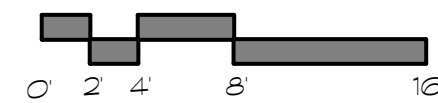
SCALE: 1/8" = 1'-0"



NORTHWEST  
ELEVATION

SCALE: 1/8" = 1'-0"

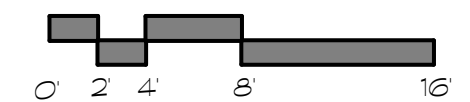
SCALE: 1/8" = 1'-0"



SOUTHWEST  
ELEVATION

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"







# 2022 Jordanelle Community Clean-Up Day

**Saturday  
May 14th  
10am to 12pm**



Sign up online to participate! Trash bags and a map of dumpster locations will be delivered the week before!

Return Around 12:00pm to the Retreat Clubhouse for catered lunch and socializing with neighbors.

Call Nikki 435-655-1612 for details and questions.

More Details at [www.thejordanelle.com/cleanup](http://www.thejordanelle.com/cleanup)



*Sign up*

*sponsored by:*



**HIDEOUT  
UTAH**

**KEYE TEAM**

KW PARK CITY  
KELLER WILLIAMS REAL ESTATE



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EQUITY**

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NMLS #3811546



# Town of Hideout – FY22 Budget Amendment

## General Fund

Item # 2.

Hideout Budget Adjustment General Fund (10)					
	Budget	Actual	Year End	Budget	Revised
	FY 2022	To Date	Projected	Adjustments	Budget
Revenues	FY 2022	FY 2022	Amount	Amount	Amount
Total Taxes	\$398,102	\$327,616	\$426,496	\$28,394	\$426,496
Total License and Permits	\$1,359,300	\$831,036	\$952,536	(\$406,764)	\$952,536
Total Charges for Service	\$19,000	\$1,931	\$2,226	(\$16,774)	\$2,226
Total Fines and Forfeitures	\$2,000	\$4,875	\$5,000	\$3,000	\$5,000
Total Miscellaneous Revenues	\$5,100	\$4,075	\$5,294	\$194	\$5,294
Total Contributions & Transfers	\$0	\$0	\$0	\$0	\$0
<b>Total General Fund Revenues</b>	<b>\$1,783,502</b>	<b>\$1,169,534</b>	<b>\$1,391,552</b>	<b>(\$391,950)</b>	<b>\$1,391,552</b>
Expenditures	FY 2022	FY 2022	Amount	Amount	Amount
Salaries and Benefits	\$161,580	\$261,151	\$313,381	(\$151,801)	\$313,381
Administration	\$59,825	\$62,243	\$87,221	(\$27,396)	\$87,221
Professional Services	\$1,039,000	\$463,370	\$706,320	\$332,680	\$706,320
Public Safety	\$90,500	\$11,094	\$15,815	\$74,685	\$15,815
Streets	\$49,500	\$65,374	\$182,511	(\$133,011)	\$182,511
Parks	\$5,000	\$2,876	\$2,875	\$2,125	\$2,875
Miscellaneous	\$15,000	\$1,629	\$1,628	\$13,372	\$1,628
Debt Services	\$26,500	\$26,961	\$26,961	(\$461)	\$26,961
Transfer to Capital	\$0	\$0	\$54,840	(\$54,840)	\$54,840
<b>Total General Fund Expenditures</b>	<b>\$1,446,905</b>	<b>\$894,696</b>	<b>\$1,391,552</b>	<b>\$55,353</b>	<b>\$1,391,552</b>
<b>Balance/(Deficit)</b>	<b>\$336,597</b>	<b>\$274,838</b>	<b>\$0</b>	<b>(\$336,597)</b>	<b>\$0</b>

**HIDEOUT, UTAH RESOLUTION NO. 2022-R-06**

**A RESOLUTION ADOPTING THE TENTATIVE BUDGET FOR THE TOWN OF HIDEOUT, UTAH, FOR THE FISCAL YEAR 2023 BEGINNING JULY 1, 2022 AND ENDING JUNE 30, 2023 AND TO SET A TIME AND PLACE FOR A PUBLIC HEARING ON JUNE 9, 2022 AT 6:00 PM ELECTRONICALLY VIA ZOOM.**

WHEREAS, State law requires the filing of a tentative budget for each municipality located within the State of Utah; and

WHEREAS, the Hideout Council ("Council") met in a regular session on May 12, 2022, to consider, among other things, adopting a fiscal year 2023 tentative budget; and,

WHEREAS, the tentative budget complies with the requirements set out in U.A.C. § 105-107; and

WHEREAS, the budget shall be reviewed, considered, and tentatively adopted by the governing body and may be amended or revised in such manner as is considered advisable prior to final adoption.

WHEREAS, the Council shall set a time and date of June 9, 2022 at 6:00 PM to hold a public hearing concerning the fiscal year 2023 budget and FY 2022 amended budget and will publish public notice of the hearing as the requirements set out in U.A.C. § 105-108; and

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF HIDEOUT, STATE OF UTAH, as follows:


Section 1. That the Town of Hideout, hereby adopts the following tentative budget for the fiscal year beginning July 1, 2022 and ending June 30, 2023 attached here to as Exhibit 1.

Section 2. The Town of Hideout shall hold a public hearing on June 9, 2022 at 6:00 PM concerning the fiscal year 2023 budget and FY 2022 amended budget and will publish public notice of the hearing at least seven days before the hearing as the requirements set out in U.A.C. § 105-108.

Section 3. That this Resolution shall become effective immediately upon the passage thereof.

**PASSED AND APPROVED** this 12th day of May 2022.

**TOWN OF HIDEOUT**

By:   
Phil Rubin, Mayor

ATTEST:

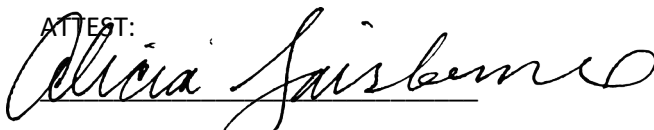
  
Alicia Fairbourne, Town Clerk



Exhibit 1: Tentative Budget FY ending June 30, 2023 & Adjusted Budget FY ending June 30, 2022

**Hideout - General Fund  
FY23 Budget  
As of April FY22**

<b>Revenue</b>	<b>Actual FY21</b>	<b>YTD/FCST FY22</b>	<b>Budget FY23</b>	<b>FY23 vs. FY22 B(W) \$</b>	<b>FY23 vs. FY22 B(W) %</b>
<b>Total Taxes</b>	\$411,500	\$426,496	\$501,105	\$74,609	17%
<b>Total License and Permits</b>	\$807,683	\$952,536	\$1,258,610	\$306,074	32%
<b>Total Charges for Service</b>	\$27,046	\$2,226	\$2,500	\$274	12%
<b>Total Miscellaneous Revenues</b>	\$11,384	\$10,294	\$11,145	\$850	8%
<b>Total General Fund Revenues</b>	<b>\$1,257,613</b>	<b>\$1,391,553</b>	<b>\$1,773,360</b>	<b>\$381,808</b>	<b>27%</b>
<b>Expense</b>					
<b>Total Salary/Wages/Benefits</b>	\$161,580	\$313,381	\$603,037	(\$289,656)	-92%
<b>Total Administration</b>	\$82,712	\$87,221	\$115,278	(\$28,057)	-32%
<b>Total Professional Services</b>	\$610,938	\$706,320	\$708,200	(\$1,880)	0%
<b>Total Public Safety</b>	\$53,599	\$15,815	\$81,089	(\$65,274)	-413%
<b>Total Streets</b>	\$163,058	\$182,511	\$262,933	(\$80,423)	-44%
<b>Total Parks</b>	\$530	\$2,875	\$15,000	(\$12,125)	-422%
<b>Total Miscellaneous</b>	\$0	\$1,628	\$12,000	(\$10,372)	-637%
<b>Total Debt Service</b>	\$26,175	\$26,961	\$27,200	(\$239)	-1%
<b>Total General Fund Expenditure</b>	<b>\$1,098,592</b>	<b>\$1,336,711</b>	<b>\$1,824,738</b>	<b>(\$488,027)</b>	<b>-37%</b>
<b>Surplus/(Deficit)</b>	<b>\$159,021</b>	<b>\$54,842</b>	<b>(\$51,377)</b>	<b>(\$106,219)</b>	<b>-194%</b>

Hideout- Water Utility FY23 Budget As of April FY22					
Revenue / Expense	Actual FY21	YTD/Fcst FY22	Budget FY23	FY23 vs. FY22 B(W) \$	FY23 vs. FY22 B(W) %
<b>Total Revenues</b>	<b>\$1,161,458</b>	<b>\$1,214,531</b>	<b>\$2,320,028</b>	<b>\$1,105,498</b>	<b>91.0%</b>
<b>Total Expenses</b>	<b>\$742,684</b>	<b>\$987,556</b>	<b>\$2,080,370</b>	<b>(\$1,092,814)</b>	<b>-110.7%</b>
<b>Surplus/(Deficit)</b>	<b>\$418,774</b>	<b>\$226,975</b>	<b>\$239,659</b>	<b>\$12,683</b>	<b>5.6%</b>









## 10.16 DARK SKIES LIGHTING

### 10.16.02 PURPOSE

It is the purpose and intent of this code to balance the goals of Hideout, to maintain its small-town character with the need to limit glare and light trespass, reduce night sky glow, conserve energy, provide safe lighting practices, and promote Dark Skies initiatives, while protecting individual property rights.

1. The use of outdoor lighting is often necessary for adequate nighttime safety and utility, but common lighting practices can also interfere with other legitimate public concerns. Principal among these concerns are:
  - a. The degradation of the nighttime visual environment by production of unsightly and dangerous glare.
  - b. Lighting practices that interfere with the health and safety of Hideout's citizens and visitors.
  - c. Unnecessary waste of energy and resources in the production of too much light or wasted light.
  - d. Interference in the use or enjoyment of property which is not intended to be illuminated at night, and the loss of the scenic view of the night sky due to increased urban sky glow.
  - e. Protect the quality of the natural ecology in the area.
2. The concerns of safety, utility and aesthetic appearance need not compete. Good modern lighting practices can provide adequate light for safety and utility without excessive glare or light pollution. In nearly all cases, careful attention to when, where and how much nighttime lighting is needed will lead to better lighting practices.
3. Accordingly, it is the intent of this code to require lighting practices and systems which will minimize or eliminate light pollution, glare, light trespass, and conserve energy while maintaining nighttime safety, utility, security and productivity.
4. In support of dark skies, events will be held two times per year to educate our community both about the value of this effort as well as about the sky itself. These events will be coordinated by the town of Hideout and may include visiting speakers and the creation of a dark skies community club or committee. These efforts will allow the Town of Hideout to pursue certification as a Dark Skies Community with the International Dark Skies Association.
5. Enforcement of this effort will be conducted by the enforcement officer under the direction of the mayor.

### 10.16.04 DEFINITIONS

Correlated color temperature (CCT): the temperature at which a blackbody emits radiant energy competent to evoke a color the same as that evoked by radiant energy from a given source (such as a lamp).

Dark sky fixture or fully shielded: any light fixture that is designed or shielded in such a manner that all light rays emitted by the fixture, either directly from the lamps or indirectly from the fixture are projected below a horizontal plane running through the lowest point of the shield.

## Examples of Acceptable / Unacceptable Lighting Fixtures



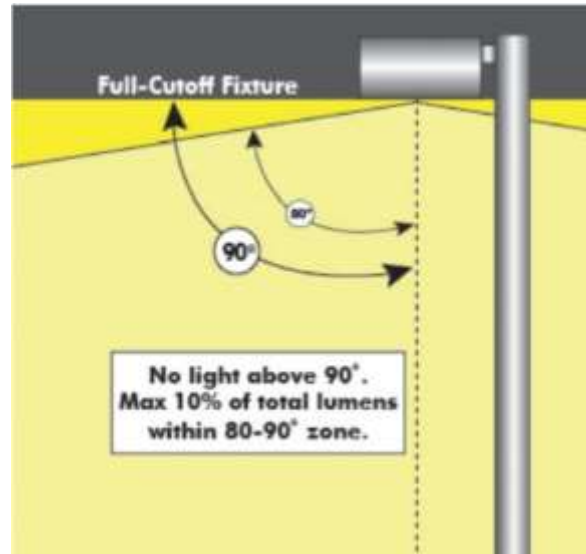
*The lights on the left are non-conforming. Those on the right can be used in most cases. Depending on the mounting height and proximity to the property line, additional shielding may be necessary to prevent the luminous elements from being visible from any other property.*

**Dark sky shield:** anything that is used to shield a light fixture so that it behaves as a fully shielded fixture. These include but are not limited to, for example, fixtures outfitted with caps or housings or installed under canopies, building overhangs, roof eaves or shielded by other structures, objects or devices.

**Electronic messenger system (EMS):** electronic messenger system with scrolling messages.

**Emergency lighting:** lighting as required by civil officers, agents, utilities and officials to perform their duties to maintain the public health, safety and welfare.

**Full Cut-off Fixtures:** fixtures, as installed, that are designed or shielded in such a manner that all light rays emitted by the fixture, either directly from the lamps or indirectly from the fixture, are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.



*Full cutoff fixtures do not allow any light to be emitted above the fixture. The fixture controls glare by limiting the light output at 10 degrees below the horizontal.*

**Holiday lighting:** temporary lighting for a specific celebration which may be one of the following types:

- Holiday lighting is permitted from December 1<sup>st</sup> – March 31<sup>st</sup> and must be turned off from midnight to 6am daily.
- Festoon type low-output lamps, limited to small individual bulbs on a string.
- Uplighting of wreaths and similar holiday items is permitted provided that individual lamps are less than 10 watts and 70 lumens.
- Low-output lamps (less than 50 watts and 750 lumens) used to internally illuminate yard art.
- Flood or spotlights producing less than 2000 lumens each whose light source is not visible from any other property.

**Kelvin:** relating to, conforming to, or having a thermometric scale on which the unit of measurement equals the Celsius degree and according to which absolute zero is equal to –273 degrees Celsius.

**Light fixture:** any device intended to produce outdoor illumination.

**Light trespass:** light emitted from fixtures designed or installed in a manner that unreasonably causes light to fall on a property other than the one where the light is installed, in a motor vehicle driver's eyes, or upwards toward the sky.

**Lumen:** a unit of luminous flux equal to the light emitted in a unit solid angle by a uniform point source of one candle intensity.

**Major addition:** enlargement of 25% or more of the buildings gross floor area, seating capacity, or parking spaces, either with a single construction project or cumulative series of construction projects after the enactment of this ordinance. The term also includes replacement of 25% or more of installed outdoor lighting.

**Minor addition:** enlargement of less than 25% of the buildings gross floor area, seating capacity or parking spaces, either with a single construction project or cumulative series of construction projects after the enactment of this ordinance. The term also includes replacement of less than 25% of installed outdoor lighting.

**Motion sensor:** any device that turns a light fixture on when it detects motion and off when motion stops or very shortly thereafter (5-10 minutes).

**Nits (candela):** the base unit of luminous intensity in the International System of Units that is equal to the luminous intensity in a given direction of a source which emits monochromatic radiation.

**Switch:** any device that can be manually controlled by a person to turn a light fixture on and off. For the purpose of this chapter, switches include motion sensors, but switches do not include light sensors or timers.

**Temporary:** refers to lighting as required by citizens to carry out legally approved activities for durations as specified in the permits for those activities. These include but are not limited to, for example, activities such as nighttime agricultural operations, construction work lighting, and seasonal decorations, but in no case for more than a period of 60 days without an exemption granted by the town of Hideout.

## **10.16.06      APPLICABILITY AND EXEMPTIONS**

All exterior outdoor lighting installed after the effective date hereof in the town shall conform to the requirements established by this chapter. This chapter does not apply to indoor lighting. However, light trespass from interior lighting that negatively impacts adjacent properties is also prohibited.

1. Exemptions.
  - a. Temporary lighting for decoration/seasonal, theatrical, television, performance areas, and construction sites, except as allowed by permit at the discretion of the town council.
  - b. Town entrance lighting such as trees with strings of white lighting at the intersection of North Hideout Trail and SR248 and the trees within the traffic circle at the western terminus of North Hideout Trail.
  - c. Underwater lighting in swimming pools and other water features.
  - d. Lighting that is only used under emergency conditions.
  - e. Lighting required by federal, state, county or city ordinances and regulations.
  - f. Outdoor recreational facilities are exempt from lumen cap and shielding but must comply with 3,000 degrees Kelvin temperature requirement. Lights must be extinguished promptly after a sponsored event.



## 10.16.08 OUTDOOR LIGHTING STANDARDS.

1. Temperature of Lamps. Lamps shall not exceed a maximum correlated color temperature (CCT) of 3,000 degrees Kelvin.
2. Lamp and Shielding. All light fixtures are required to be fully shielded and installed so that the shielding complies with the definition of a fully shielded light fixture.
3. Light Trespass Standard. All light fixtures, including motion sensing fixtures and security lighting, shall be aimed and shielded so that the direct illumination shall be confined to the property boundaries of the source, including any public or private street or road.
4. Signs:
  - a. Front Lit: Any light with the intention to illuminate a sign must be oriented from the top and shine down.
  - b. Back Lit:
    - I. The sign design may not contain any more than 10 percent white, including lettering.
    - II. Transparent or clear materials are not allowed.
    - III. Nonface portions of the sign (e.g., background and sides) shall be made of completely opaque material.
    - IV. Internal lights must not exceed 3,000 degrees Kelvin if greater than or equal to 1,500 lumens.
  - c. Neon: Any sign consisting of more than three feet of neon must be extinguished no more than four hours after sundown during daylight savings and six hours during regular mountain time.
  - d. Electronic:
    - I. EMS signs are for public safety purposes only and prohibited for private or commercial use.
    - II. Luminance levels for operation after sundown and until sunrise shall not exceed 100 nits (candela per square meter) as measured under conditions of a full white display.
    - III. Messages appearing on Electronic Messenger Systems (EMS) shall not be displayed for less than 30 seconds and require no longer than 0.25 seconds to transition from one message to another. Moving text is prohibited.
    - IV. The luminous surface area of an individual EMS shall not exceed 50 square feet.
    - V. EMSs shall not be placed within 1,500 feet (300 meters) of other off-premises changeable electronic variable message sign on the same side of the highway, regardless of face orientation.
    - VI. EMSs shall not be placed within 1,500 feet (300 meters) of residential areas.
    - VII. The device owner or the permit holder shall continuously monitor signs 24 hours per day, including monitoring the reliability of hardware, software, network and other support infrastructure.
    - VIII. Signs shall contain a default mechanism so that in the event 10 percent or more of an EMS's LED emitters have failed, the sign will immediately revert to an unlit black screen and remain in such condition until the malfunction is corrected.
5. Parking Lots:
  - a. Spot or flood lighting of parking lots from a building or other structure is prohibited.

- b. The overall height of any light post used to illuminate parking lots in commercial zones shall not exceed 20 feet. All post mounted parking lot lights shall be set back from property lines a distance that is determined appropriate by the planning commission.
  - c. The overall height of any light post used to illuminate parking lots in residential zones shall not exceed 16 feet.
  - d. The lighting in commercial parking lots must be turned down by at least 75% of all light fixtures (or 75% of total light emitted) two (2) hours after closing time in the evening or from 10pm to 6am, whichever is the most restrictive.
  - e. All parking lot lighting shall use full cutoff fixtures.
6. Gas Station Canopies. Gas station canopies may be illuminated, provided all light fixtures are mounted on the undersurface of the canopy, all light fixtures are full cutoff and diffusers are not visible from locations off the property. Except for directed beam lighting, merely placing the fixtures on the underside of the canopy does not qualify as fully shielding the light fixture. Directed beam lighting mounted under the canopy is allowed, provided the light source cannot be seen from outside the property boundaries.
7. Total Outdoor Light Output Standards – Commercial and Multifamily Uses.
- a. Total outdoor light output shall not exceed 15,000 lumens per net acre for all development except single-family residential uses. This cap is not intended to be achieved in all cases or as a design goal. Instead, design goals should be the lowest levels of lumens necessary to meet the lighting requirements of the site.
  - b. Seasonal decorations are not counted toward this limit.
8. Total Outdoor Light Output Standards – Single-Family Residential Uses:
- a. Outdoor lighting for single-family residential uses is subject to a lumen per net acre cap of 10,000 lumens net.
  - b. Outdoor lighting for single-family residential uses is subject to the lamp fixture and shielding requirements.
9. Roadway/Streetlights. Streetlights are allowable as recommended by the public works administrator or town council. All streetlights shall utilize lamp types that are energy efficient and minimize sky glow and other negative impacts of artificial lighting. They shall not exceed 10,000 lumens per net acre. Lighting shall meet safety concerns with a goal of using the lowest levels of lumens necessary.
10. New Public Lighting – Streetlights/Public Property and Rights-of-Way:
- a. All new streetlights are allowed as recommended by public works administrator and town council. They will adhere to all standards as indicated including energy efficient lighting which minimizes sky glow. They shall not exceed 10,000 lumens per net acre. Lighting shall meet safety concerns with a goal of using the lowest levels of lumens necessary.
  - b. Public Property. Properties owned by Hideout such as parks and other community gathering spaces will adhere to all standards as indicated. They will adhere to all standards as indicated including energy efficient lighting which minimizes sky glow. Lighting shall meet safety concerns with a goal of using the lowest levels of lumens necessary.
  - c. Rights-of-Way. All rights-of-way will adhere to all standards as indicated including energy efficient lighting which minimizes sky glow. Lighting shall meet safety concerns with a goal of using the lowest levels of lumens necessary.

- d. All new public lighting will be part of the planning and zoning process in which public buildings, public property and rights-of-way lighting is determined. This will be incorporated as part of the zoning process moving forward to ensure compliance with this chapter.

11. Prohibited Lighting:

- a. Up lighting to illuminate buildings, other structures or vegetation.
- b. Flashing, blinking, intermittent or other lights that move or give the impression of movement, not including temporary holiday lighting.
- c. Floodlights or spotlights affixed to buildings for the purpose of lighting parking lots or sales display lot areas.
- d. Searchlights, laser source lights or any similar high intensity light.
- e. Except when used in window signage pursuant to subsection (10.16.06 (4.C) of this section, neon or luminous tube lighting, either when outdoor mounted or indoor mounted, if visible beyond the property boundaries.

### **10.16.10 LIGHTING CONTROL.**

1. Light fixtures with motion sensors and/or timers are required to minimize the duration of nighttime lighting from midnight to 6 a.m.
2. Fully shielded fixtures are required where any lights, even those below 1,500 lumens, are mounted on structures or poles higher than the first level above ground level to protect the view of the night sky, minimize ground reflection, and reduce light scatter beyond the property line.
3. Statuary and flags shall be lit from above to minimize sky glow.

### **10.16.12 IMPLEMENTATION.**

1. New Uses, Buildings and Major Additions or Modifications: All building permit applications must include an outdoor lighting plan which includes the following information:
  - a. The location of all existing and proposed light fixtures (may be included on site plan).
  - b. Specification sheets for all existing and proposed light fixtures.
  - c. Acknowledgement that the Applicant has received notification of this Article.
  - d. Verification that a residential or commercial construction project requiring a building permit application has complied with the provisions of this code section shall occur during the final electrical inspection done by the towns designated building inspector.
2. Minor Additions or modifications: If the work requires a permit than the procedures shall be the same as for a Major addition.
3. New Lighting. Any new lighting on the site shall meet the requirements of this code with regard to shielding and lamp type; the total outdoor light output after the modifications are complete shall not exceed that on the site before the modification, or that permitted by this code, whichever is larger.
4. Resumption of Use after Abandonment. If a property or use with nonconforming lighting is abandoned, then all outdoor lighting shall be reviewed and brought into compliance with this code before the use is resumed.
5. Existing Lighting: On or before three years, all outdoor lighting shall comply with this code. This may be done through replacement or retrofitting.
6. Public Roadways:



- a. In general, this code does not apply to county and state rights-of-way. However, all new streetlights on such roadways or rights-of-ways must be fully shielded.

#### **10.16.14 ENFORCEMENT AND PENALTIES.**

All code, including lighting code, requires enforcement. Lighting code enforcement is essential to achieving a sustained reduction of light pollution and conservation of the night sky.

1. The penalty for violation of any portion of this chapter shall be:
  - a. First Notice. A notice to the property owner requesting compliance within three months.
  - b. Second Notice. If after three months the violation exists a notice will be given to appear before the Hideout Town Council to discuss options to come into compliance.
  - c. Third Notice. If after six months a violation of the provisions of this chapter shall be an infraction punishable by penalties up to \$1,000 per day per residential/commercial unit.
2. Violations regarding 10.16.10 lighting control (not withstanding 10.16.14.1) :
  - a. First notice. A notice to the property owner requesting compliance within 72 hours.
  - b. Second notice. If after 72 hours a violation of this light control shall be an infraction punishable by penalties up to \$50 per day until compliance.

#### **10.16.16 CONFLICTS.**

Where any provision of federal, state, county, or city statutes, codes, or laws conflicts with any provision of this code, the most restrictive shall govern unless otherwise regulated by law. If any provision of the Hideout Town Code should conflict with the provisions of this chapter, this chapter shall supersede and be the controlling and enforceable provision.